

CARDIGAN MEMORIAL HOSPITAL, CEREDIGION

Ysbyty Cymunedol Aberteifi a'r Cylch

Design & Access Statement - Detailed Planning Application

12 December 2023



GAUNT FRANCIS
Architects





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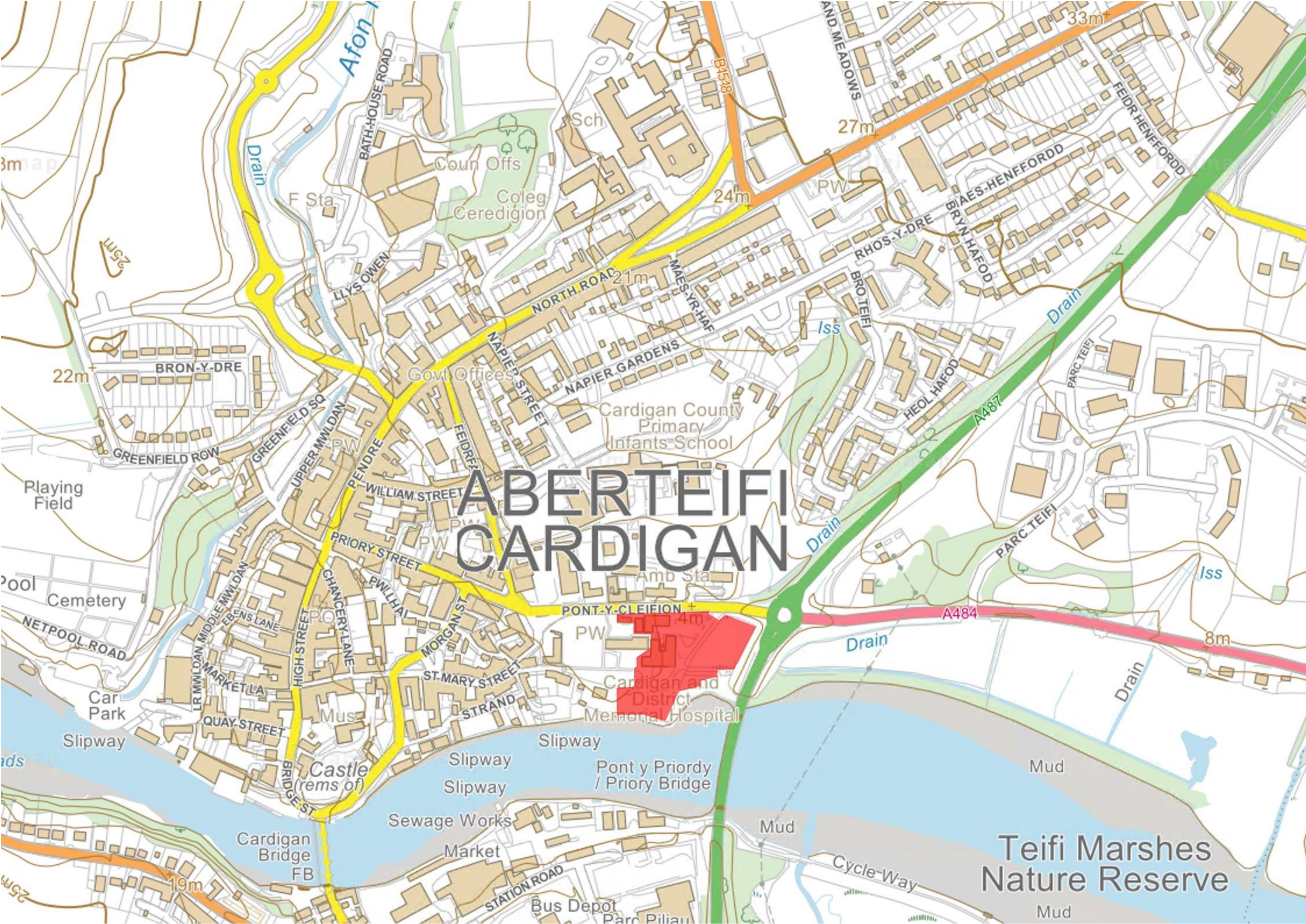
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Cambria

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Left:
Priory Street, Cardigan, is located within close proximity to the application site

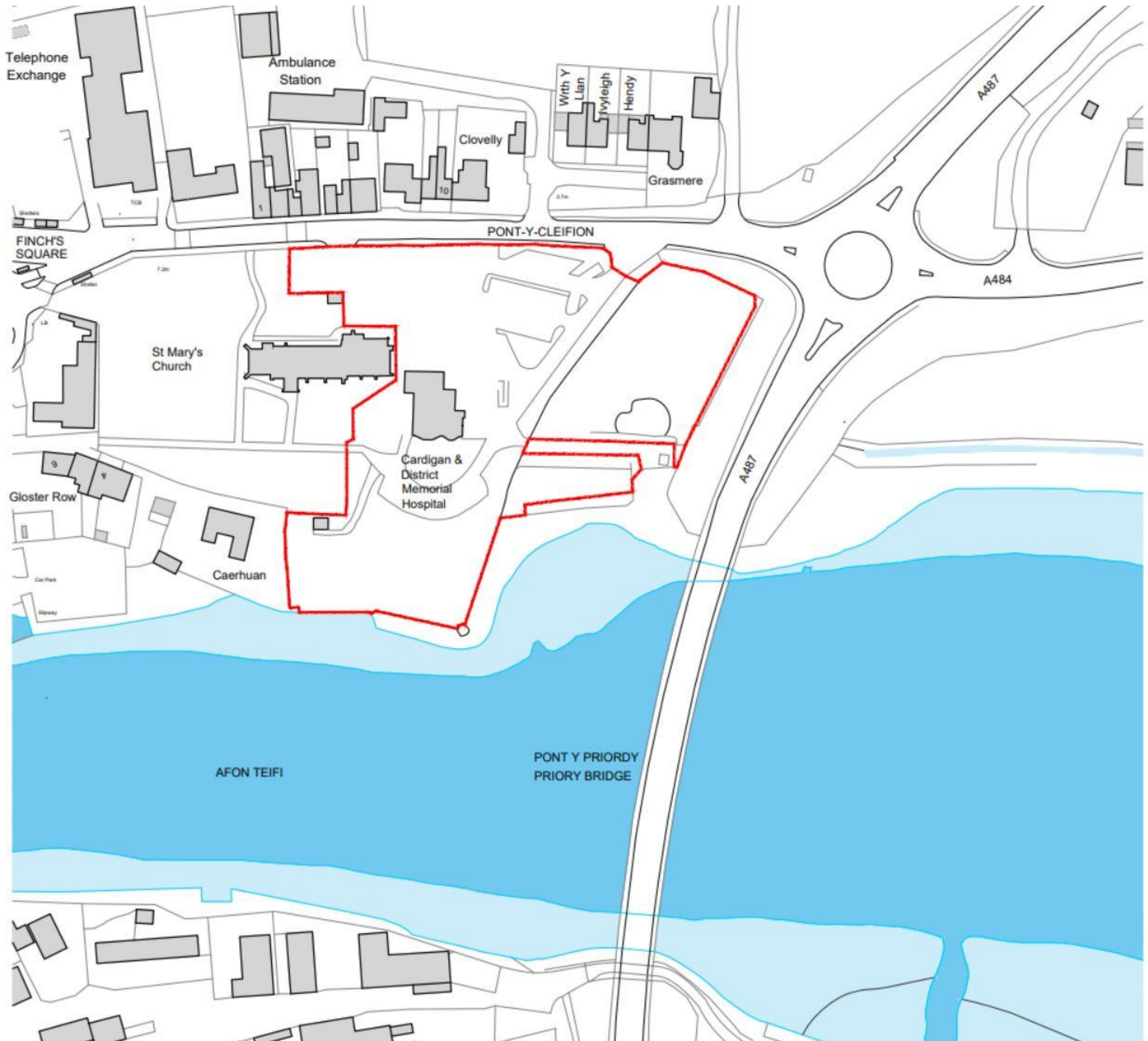
ABERTEIFI CARDIGAN



1.00 Introduction

Client and project team / the vision / client brief

- 1.01 This Design & Access Statement ('DAS') describes the mixed-use development proposed to replace the Cardigan Memorial Hospital in Ceredigion. It forms part of a second planning application for this important site.
- 1.02 The first planning application was made on 17 June 2021 (validation date) and was consented on 20 September 2021 (Application No A210510). That consent proposed demolition of the existing hospital buildings, but retention of the remaining parts of Priory House – an unlisted heritage asset dating from 1792. 34 new-build apartments for the elderly were then proposed to take the place of the demolished buildings, alongside a new office building for Wales & West Housing; a 'Cambria' storage building ; a public café within the restored Priory House, and associated landscaping and car parking.
- 1.03 However, a post-Covid analysis of the scheme confirmed a number of issues which made the consented scheme unviable ;
- a significant increase in building materials costs
 - a significant flood event affecting the car park
 - in-house concerns about resident's car parking provision
- 1.04 As a result, WWHA instructed Gaunt Francis ('GFa') to make a series of changes to the scheme ;
- to reduce the number of apartments proposed, from 34 to 20 one bed units
 - to provide one-to-one resident's car parking (i.e. 20 spaces)
 - to lift all car parks above flood event levels
 - to improve the gross/net development ratio of the residential component
 - to reduce the scale of the proposed Cambria building.
- No changes, in principle, were to be made to the office building or to the quantum of office car parking. A key client requirement for the revised scheme was that the new residential terrace fronting Pont y Cleifion should be retained in the scheme.
- This DAS describes the resultant scheme.
- 1.05 The Memorial Hospital site has a fascinating history. Once housing Cardigan Priory, it became the setting for John Nash's first country house ('Priory House' – c. 1792), which, over 100 years later (c. 1920), was acquired by a syndicate of local people who donated it to the town, with the intention of it becoming a convalescent home for Cardigan war veterans. The health board took over its management and operation, and over the remainder of the last century extended and converted the Nash house to make it a mainstream hospital. However, the piecemeal formation of the hospital building could never suit a 21st century clinical need, and after developing a new Health & Integrated Care Centre to the north of the town, the Health Board sold the hospital site to Wales & West Housing ('WWHA') in 2019.
- 1.06 In February 2020, WWHA undertook initial public consultation to explain the new ownership and the ambitions for the site, and in November 2020, appointed Gaunt Francis ('GFa') as architects for the redevelopment of the site, with a brief that it should contain apartments for the elderly, together with new offices for WWHA, (to replace those currently occupied at Newcastle Emlyn), and a small storage building for maintenance staff (The 'Cambria' building). The aim was for the new development to have strong links with, and help reinforce the character of, the town centre, and to help foster a strong sense of community among its residents. A key target was for the new scheme to help reduce fuel poverty, and to target low carbon in use.
- 1.07 WWHA have appointed the following team for this revised application ;
- Gaunt Francis – architects
- Asbri – planning consultants
- Holland Heritage – heritage impact consultants
- JBA – flood risk specialists
- Acstro – highways and transportation
- IG – ecology
- Hoare Lea – M+E & sustainability engineering
- CB3 – structural and civil engineering



2.00 The Site & Context



Left:
Site location plan - site ownership shown in red
Above:
The town centre has a mix of scale, colour and materials

- 2.01 The site sits at the eastern periphery of the town, adjacent to, but excluded from, the town centre Conservation Area. St Mary's church, a Grade II* listed building, and its churchyard, forms its western boundary, the two being separated by an extensive stone wall that largely surrounds the hospital site. That wall appears to have its origins in the 16th century, and most likely belongs to the hospital rather than the church.
- 2.02 In the early 19th century, Cardigan was the fourth largest port in the UK, after London, Bristol and Liverpool, so important was the Teifi to cross-Atlantic trade. Many parts of the town centre characterise that importance, and the Conservation Area contains many proud and flamboyant listed buildings.
- 2.03 There are several key characteristics that make Cardigan unique and very special ;
 - The street pattern and tight-knit grain, with terraced forms of properties
 - The low scale – two or three storeys at most, but also often with remarkable changes in scale sitting cheek by jowl
 - Set-back frontages with low wall/railings forming the front boundary treatment
 - The use of local brick and stone, and an overall reasonably dark palette of materials, but with occasional touches of deep effervescent colour
 - Pitched roofs
 - Port and market town interventions, using industrial or agricultural building forms and materials
- 2.04 The overall impression is of a very informal, independent, joyful, semi-rural town. Whilst there are obviously traditional building forms, Cardigan is not a set-piece, and there is a random and wonderful collection of forms, sizes, colours and materials available. Successful new development, like the Castle Green café, have even provided a touch of sensitive modernism, and have been successful due to the choice of materials, scale and forensic attention to detail. We are aware of a brickworks that used to exist close to the town centre, and the extensive brickwork used in the town, some with very decorative finishes, is evidence of that. The brickwork is reasonably dark and distinctive (Cardigan is not a pastel seaside town like Tenby or Aberaeron) and the local stone is likewise. The overall palette is therefore reasonably dark, strong and distinctive.
- 2.05 The eastern half of the site falls within flood zone C2, and NRW's 'development advice maps' outlaw that zone for residential use, though commercial uses can be made acceptable. The remainder of the site is in flood zone A, where residential use is acceptable subject to a Flood Consequence Assessment.
- 2.06 The existing hospital buildings were previously very evident in views looking north across the river, but the majority of those buildings have now been demolished under the terms of the September 2021 consent. The local townsfolk are aware of the site's importance as the entrance to the town from the east, crossing the Priory bridge.
- 2.07 The site's open grassed areas next to the river are extensively used for dog walking, as an extension to St Mary's Street and the churchyard. Small stone gateways in the site's perimeter wall take the walker's route further east, to the undercroft of Priory Bridge, where they can meet the water's edge.
- 2.08 Pont y Cleifion is the road that skirts the northern perimeter of the site. It was previously overshadowed by a large stone wall on the hospital boundary, but that wall has now been demolished and a site hoarding erected instead. Pont y Cleifion is faced up by a terrace of low scale residential properties on the opposite side.
- 2.09 The site falls in level by around 4m from its western boundary to east, dropping away from the church.



Above: Looking west up Pont-Y-Cleifion with the partially demolished hospital to the left and St Mary's Church behind.

Below: Post-demolition view of the hospital and St Mary's Church as seen from Pont-Y-Cleifion.



Right: Pre-demolition view of hospital from Churchyard

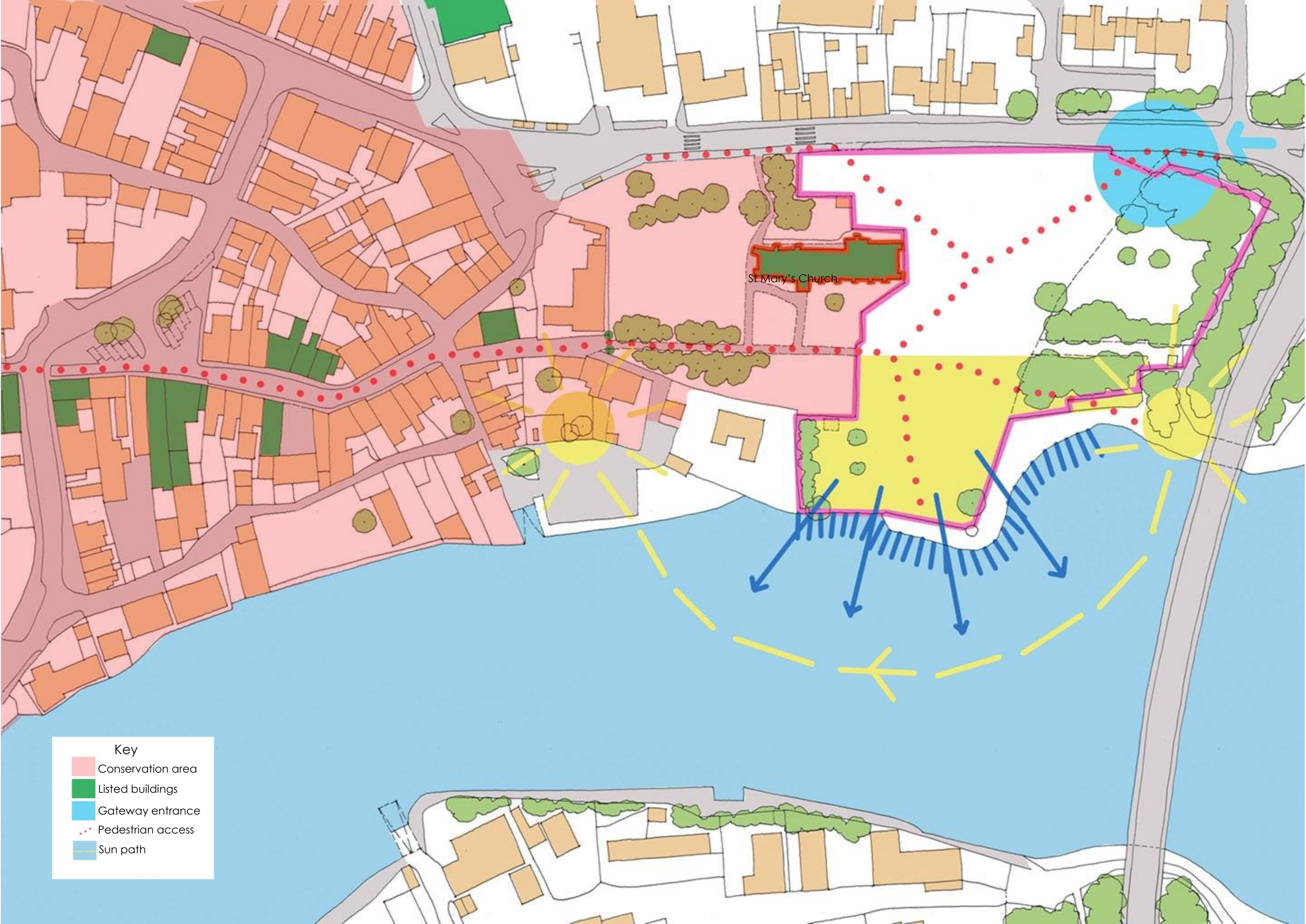




Left:
Site plan

Right:
Cardigan has a low scale,
colourful and historic town centre





Key

- Conservation area
- Listed buildings
- Gateway entrance
- Pedestrian access
- Sun path

Flood Zones



The greater part of the site falls within Flood zone L2



3.00 Planning Policies

Overview

- 3.01 The planning policy framework for the determination of this application is provided by the content and scope of National Planning Policy, which is contained within the eleventh edition of Planning Policy Wales (PPW) and its associated Technical Advice Notes (TANs), together with the Local Planning Policy and its supplementary planning guidance.
- 3.02 The planning policy context for this application is provided in detail in the Planning Statement that accompanies this application. For a full review of pertinent policies please refer to the Planning Statement.

Planning Policy Wales

- 3.03 PPW Edition 11 was adopted by the Welsh Government in February 2021 and is the principal document for planning considerations in Wales. PPW provides land use planning policy and should be taken into account when preparing planning applications. PPW 11 sets out the land use planning policies of the Welsh Government. It is supplemented by a series of Technical Advice Notes (TANs), Welsh Government Circulars, and policy clarification letters, which together with PPW provide the national planning policy framework for Wales.
- 3.04 The primary objective of PPW is to ensure that the planning system contributes towards the delivery of sustainable development and improves the social, economic, environmental and cultural well-being of Wales, as required by the Planning (Wales) Act 2015, the Well-being of Future Generations (Wales) Act 2015 and other key legislation. PPW and Future Wales set out how the planning system at a national, regional and local level can assist in delivering these requirements through Strategic Development Plans (SDPs) and Local Development Plans (LDPs).
- 3.05 Section 3.17 of PPW relates to design and access statements (DAS) discussing that a DAS should communicate what development is proposed, demonstrate the design process that has been undertaken and explains how the objectives of good design and placemaking have been considered from the outset of the development process.

Future Wales

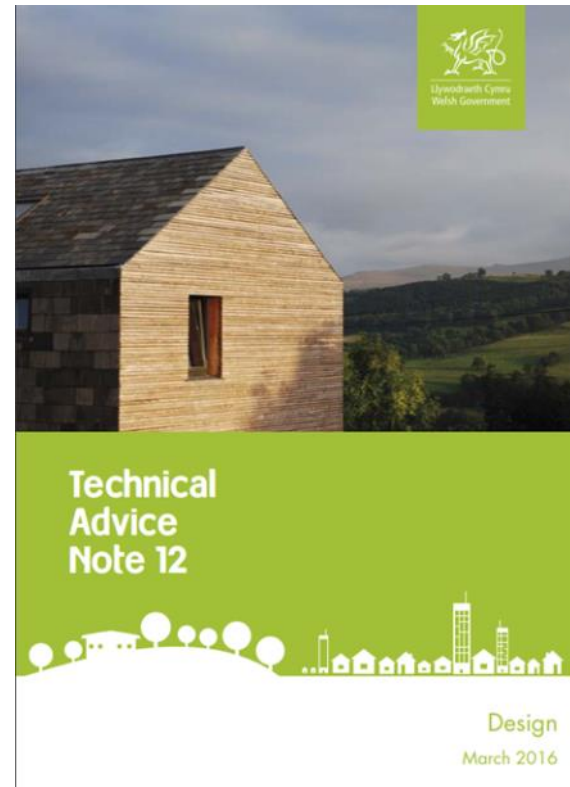
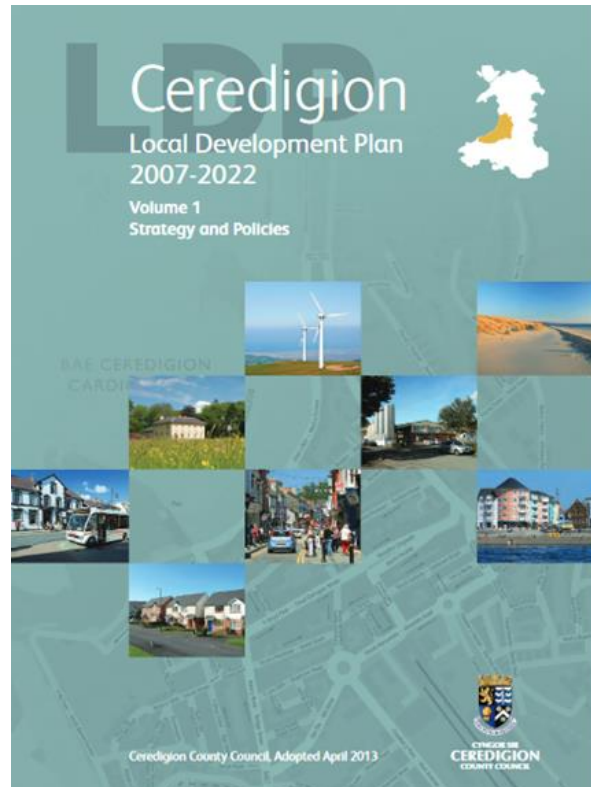
- 3.06 Published on the 28th February 2021, Future Wales comprises the first development plan of its kind within Wales. It is a development plan with a strategy for addressing key national priorities through the planning system, including sustaining and developing a vibrant economy, achieving decarbonisation and climate-resilience, developing strong ecosystems and improving the health and well-being of our communities.

- 3.07 The National Plan acknowledges the urgent actions and changes in behaviour that were introduced in response to the COVID-19 pandemic and how they will emerge as permanent features of life. These include using spaces differently, travelling less and spending more time working from home.
- 3.08 The National Plan notes that the planning system must respond to these changes and contribute to a sustainable recovery, shaping places around a vision for healthy and resilient places. The strategy blends the existing settlement patterns and the distribution of jobs and homes with a vision of managing change and future trends for the benefit of everyone in Wales. Planning Policy Wales is the primary source of detail on how the planning system will support reconstruction efforts.

Well-being of Future Generations Act (2015)

- 3.09 The Well-being of Future Generations (Wales) Act came into force in 2015 and seeks to improve the social, economic, environmental and cultural well-being of Wales. The Act puts in place seven well-being goals in order to make sure that everyone works towards the same vision. The well-being goals, shown below, are discussed further in the Planning Statement.





Policy reference	Relating to
<i>Strategic Policies</i>	
S01	Sustainable Growth
S02	Development in Urban Service Centres (USC)
<i>Land Use Policies</i>	
LU02	Requirements Regarding Residential Development
LU06	Housing Density
LU12	Employment Proposals on Non-Allocated Sites
LU13	Change of Use in Relation to Existing Employment Land or Buildings
LU17	Tourism Facilities/Attractions (non accommodation)
LU22	Community Provision
LU24	Provision of Open Space
LU32	Development and the Waste Hierarchy
<i>Development Management Policies</i>	
DM01	Managing the Impact of Development and Communities on the Welsh Language
DM03	Sustainable Travel
DM05	Sustainable Development and Planning Gain
DM06	High Quality Design and Placemaking
DM07	Conservation Area
DM09	Design and Movement
DM10	Design and Landscaping
DM11	Designing for Climate Change
DM12	Utility Infrastructure
DM13	Sustainable Drainage Systems
DM14	Nature Conservation and Ecological Connectivity
DM15	Local Biodiversity Conservation
DM17	General Landscape
DM18	Special Landscape Areas (SLAs)
DM19	Historic and Cultural Landscape
DM20	Protection of Trees, Hedgerows and Woodland
DM22	General Environmental Protection and Enhancement

Technical Advice Notes

3.10 This application has been prepared in deference to the latest version of TAN 5 (Nature Conservation and Planning), TAN 12 (Design), TAN 15 (Development and Flood Risk), TAN 18 (Transport), TAN 20 (Planning and the Welsh Language), TAN 23 (Economic Development) and TAN 24 (The Historic Environment). The suitability of the proposals in this design context are demonstrated in this Design and Access Statement.

3.6 Design and Access Statements in Wales (April 2017)

3.11 This guidance document sets out the requirements for a DAS, the benefits of preparing a DAS and some of the pitfalls that should be avoided when preparing the document. Section 5 of this document provides guidance on what to include in a DAS and how to communicate the proposals

Ceredigion Council Local Development Plan

3.12 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that planning application decision should be made in accordance with the authority's adopted development plan, unless material considerations indicate otherwise. In this instance, the statutory development plan for this application site is provided in the Ceredigion Local Development Plan (2007 - 2022), adopted April 2013.

3.13 Within the LDP, the site is classified as 'white land' within the defined Settlement Boundary of the Urban Service Centre of Cardigan.

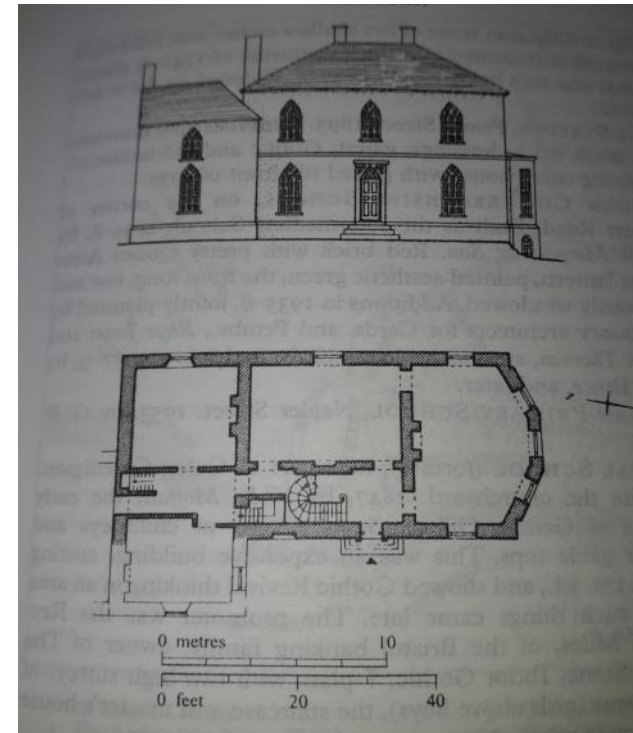
The LDP planning policies considered relevant to the determination of this planning application are contained in the table provided to the left.

Supplementary Planning Guidance

3.14 The following adopted supplementary planning guidance are considered relevant to the proposal:

- Community and the Welsh Language SPG (June 2015);
- Ceredigion County Council Parking Standards SPG (January 2015);
- Transport Assessment SPG (January 2015);
- Built Environment and Design SPG (January 2015);
- Nature Conservation SPG (January 2015); and
- Open Space SPG (April 2014)





4.00 The Existing Buildings

history / scale / movement & infrastructure

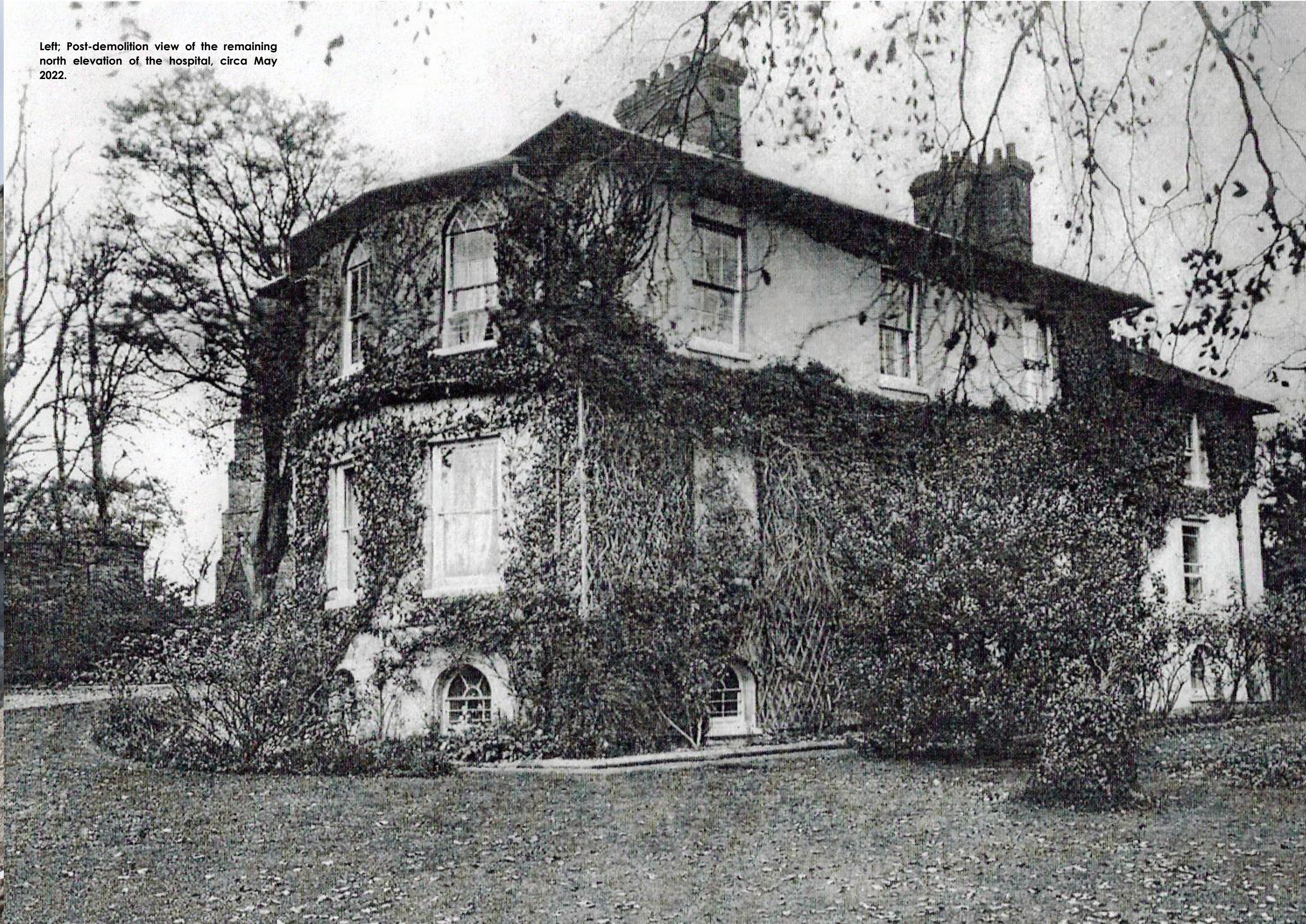
The Nash House and the later hospital buildings

- 4.01 Priory House was (arguably) John Nash's first country house, and it must have replaced the remnants of the original Priory which had fallen into a ruin, though there are suggestions that another house preceded it. The Nash house was three-storey in height, with a bayed south elevation under a pitched 'villa' roof. The front elevation faced the churchyard, with its front door central in a symmetrical façade made fashionable through the use of gothic arched windows, though the ground floor window on the north side would have been 'blind'. Internally the plan used a curved landing stair to provide access to the first floor. A grand room overlooking the river was arranged at upper ground floor level.
- 4.02 Like most of Nash's country houses from this time, a two-storey service wing ('cross range') was arranged on its northern side. In Priory, this was split by half a level from the main house, and accessed through a curved doorway off the half-landing.
- 4.03 The arrangement was clearly aimed at the picturesque, and designed to be viewed from the south side of the river as a grand 'gentleman's residence' in its own extensive grounds. Later, the service wing was extended to the north to provide a stable block.
- 4.04 The later development of the hospital was not, however, very kind to the Nash house. Its roof and eastern flank wall were removed so as to better absorb it into the larger hospital extension. An additional storey was added, and random additional windows created, whilst others were made more 'gothic'. The south elevation was extended by a mock Nash bay. The internal finishes, save for its curved landing stair and some localised joinery, were all stripped out. Some vaults in the basement may possibly have come from the original Priory, but it is now very difficult, internally, to tell where the original Nash house ends and where the later hospital starts. Indeed, so extensive has the demolition and alteration work been, that despite repeated requests, CADW has refused to list it.
- 4.05 The various later extensions to the Nash house were carried out in several phases over the course of the 20th century, to turn it from a nursing home into a fully-fledged hospital. The extension work was institutional in flavour and of little merit. The hospital closed in 2019, when the new Integrated Care Centre was opened.
- 4.06 Following the grant of Planning Permission A210510 in September 2021, demolition of the high stone wall that bounded Pont-Y-Cleifion was undertaken, as was demolition of the majority of the 20th century hospital extensions.





Left; Post-demolition view of the remaining north elevation of the hospital, circa May 2022.





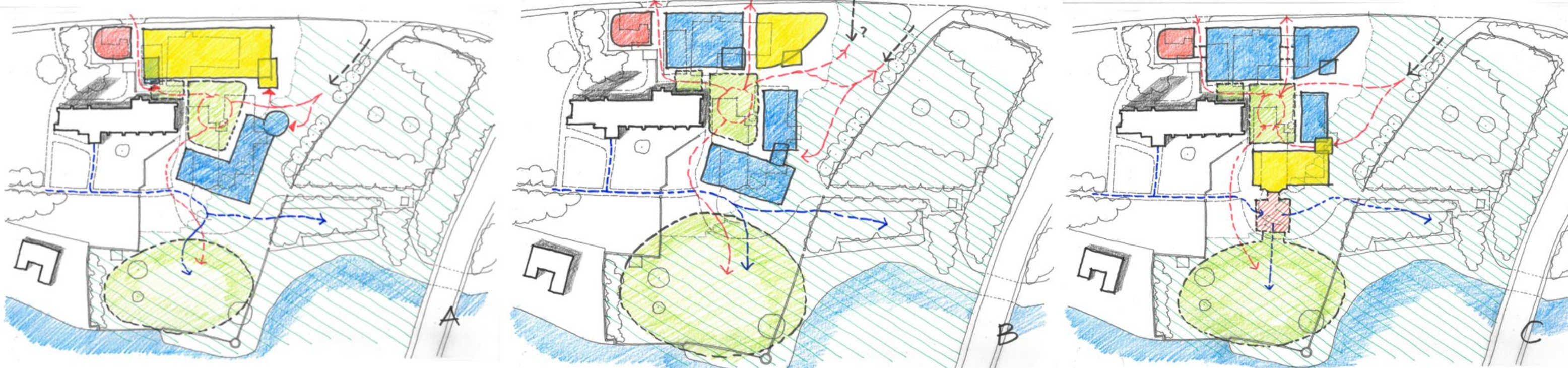


Above:
The existing eastern wall of the church, with the partially demolished Memorial Hospital beyond.

Left:
The existing outbuilding that contains the mower shed and external WC.

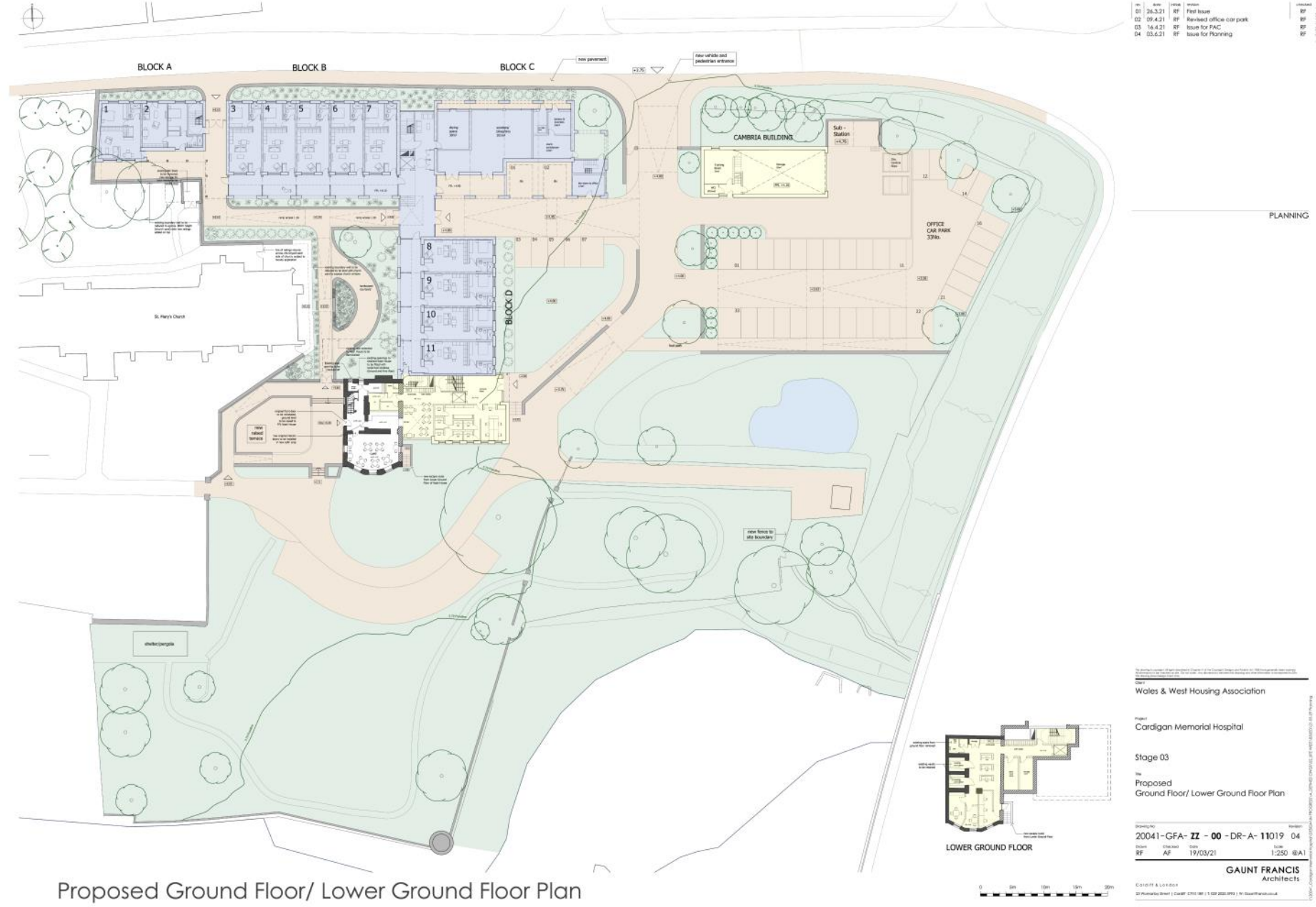
The church

- 4.07 Listed Grade II*, St Marys Church dominates the skyline and the context of this part of the town centre. However, the stone boundary wall that separates the site from the church is pressed hard up against the Church's great eastern window, and the church's enclosure was made even more pronounced by the arrangement of the hospital buildings, which, in places, suffocated the church completely. In places the boundary wall exceeds 4m in height.
- 4.08 At first glance the wall appears to be part of the church, but historical research suggests it was probably always part of the Priory, with its origins in the Monastic dissolution of the 16th c (though it was probably re-constructed in early 20th c). At its closest the boundary wall is less than 1m from the face of the church building.
- 4.09 A small outbuilding on the northern edge of the site, tucked against the stone wall, contains a WC and maintenance equipment for the church. The open space adjacent to this is used by the church for its annual festival of Song (audio equipment storage), and a doorway in the vestry gives access.
- 4.10 For centuries the entire church south façade, and its original east wing, were visible across the river, but until recently single storey service building constructed in front of the Nash west façade, and the additional storey added to the Nash House compromised that. The single storey service wing has now been demolished.
- 4.11 In 2021 we met with the vicar (Reverend Bennett) and wardens of St Marys Church, who were delighted that the hospital site will soon have a new future, and who were open to the idea of removing or adapting the stone walls that surround the church, provided access for maintenance is maintained and ownership is clear. As part of that discussion, we also suggested that the Church's external store and WC building, which sits against the boundary wall on the northern side of the church, would be demolished, so that the wall can be significantly reduced in height at that point. (A new WC would be built within the church).
- ### *Scale, movement and infrastructure*
- 4.12 The first planning application DAS discussed the impact of the hospital buildings on the setting of the church and the site. Now that the majority of those hospital buildings have been demolished, those previous impacts have been removed.
- 4.13 Access into the site is well provided for, either by the existing vehicle entrance or by the pedestrian link from the churchyard. However, like most of Cardigan, level access and slow gradients are not easy to find, and even the hospital has had to cater for ambulant impaired users through extensive use of long ramps and lifts. Nevertheless, this is still part of the town centre, and connections to the town and public transport are close to hand.
- 4.14 The site is not served by gas, and its electricity supply was decommissioned when the hospital use was shut down. However, the site's proximity to Pont y Cleifion should not make this a major issue. Connections are available to foul drainage and water, but there are several sewer and utilities services underground which will need to be avoided in any redevelopment proposal.



Above: Original site layout concept sketches

Below: The 2021 Consented plan



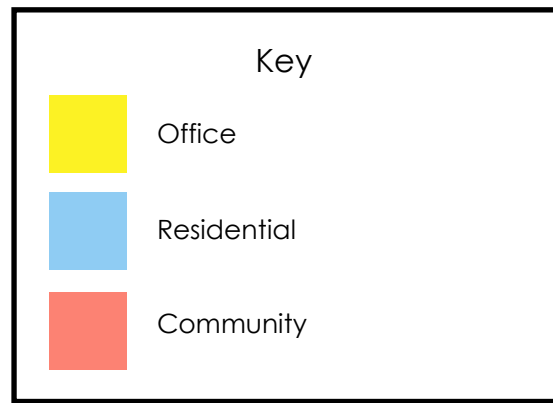
Proposed Ground Floor/ Lower Ground Floor Plan

Below: 3D rendering of the 2021 Consented scheme



5.00 Scheme Evolution

concepts / developing a built form



Below: Bird's eye view of the 2021 Consented scheme



- 5.01 Despite the damage caused to the Nash House by the later hospital development, the people of Cardigan still hold it very close to their heart. For them, Priory House is seen as an important part of the town's heritage, and has the critical quality needed to reinforce the town's growing confidence in its past as a means of underpinning its future.
- 5.02 What then do the people of Cardigan understand by the Nash House? What we see today, including its later fourth storey (now already close to 100 years old) and additional Gothic windows? Or the 'original' Nash design, as captured in many photographs, with its picturesque roof? Our research and public consultation suggests it is the narrative that's important here, not the historical fact, though many influential locals will hold that the original needs to be re-created including its rear service wing. What is clear is that to many a view of the Nash house from the approach over the Priory bridge is sacrosanct and will help deliver the kind of landmark quality they are looking for.
- 5.03 Our concept therefore builds on the idea of 'saving' the Nash house and giving it a central focus in the view from Priory Bridge and the south. We want the house to form one side of a collegiate response to the brief – one that creates a second, more private, heart to the site, in the form of a cloistered courtyard, that can help form a strong community for the residents. The church is central to that.
- 5.04 Our initial thoughts focused on arranging the office accommodation on the north side of the site, with the residential accommodation further south. In discussions with our client it became clear that our concept would be difficult to deliver this way ; the elderly residents would feel more cut off from the town's activity; the courtyard centrepiece would be less private, and the small quantum of office space required would inevitably lead to inefficient access arrangements. There would also be more pressure on the flood zone boundary. A more successful concept would be to arrange the residential accommodation in the northern part of flood zone A, where it could create its own courtyard setting with the church, and so that the office component could be linked with the Nash House (which didn't easily convert to the residential use required by our brief). The challenge then would be to ensure the elderly apartments were not generally north-facing.
- 5.05 The revised client brief, to make changes to the September 2021 consented scheme, raised interesting challenges ;
- Whether the reduction in apartment numbers should be catered for by a reduction in height or by a revised layout
 - How the car parks could be raised in level without impairing access from Pont y Cleifion
 - How we might reduce the gross/net floorspace ratio but still maintain spaces for resident interaction
 - How we build in far greater resident's car parking, which would all need to be located in flood zone A
 - Whether any changes to suit the new brief would impact on the design of the office building and the restoration of Priory House.



Proposed ground floor plan

6.00 The Proposed Scheme

the new development / relationship to surrounding buildings / access, movement and servicing / energy & sustainability / daylight and sunlight / flood risk summary / highways commentary

Generally

- 6.01 20 apartments, all one-bed in size, are proposed for the elderly, in a courtyard arrangement focusing on a new landscaped central space that gives some breathing space to St Mary's Church. Residents, who will all come from Ceredigion's housing lists, will have sole access into this central space, and will have a series of pedestrian links with the town through the existing churchyard gateway; an additional pedestrian gateway onto Pont-Y-Cleifion, and the main vehicular entrance. The existing vehicular entrance will be adjusted to a new position slightly further west, to help safety (we are aware that the existing access point can be dangerous for vehicles leaving the site, so close to the roundabout) and to create the right amount of space for the office car park.
- 6.02 33 spaces are proposed in this office car park, which will all be for office staff. Parking for residents will be provided by a further 20 spaces near the resident's main entrance, three of which are DDA spaces.
- 6.03 Compared with the 2021 consent, the significant change in massing shown in this application has been created by omitting the central block of residents accommodation (Block D) and by reducing the height of Block C (the north-eastern block) by a storey. This has a number of significant benefits ;
- The existing residents on the north side of Pont y Cleifion will retain more daylight (though we proved that the consented scheme would retain sufficient daylight for these residents)
 - A view of the east end of St Mary's Church would become available to pedestrians crossing Priory Bridge or entering Pont y Cleifion from the east
 - The apartments in Blocks B and C would no longer be overshadowed by Block D
 - Removal of Block D would increase car parking space for residents in flood zone A
 - The loss of units has resulted in smaller ground floor plant space being needed in Block C.
- 6.04 The impact of this revised massing is particularly evident on the north elevation, where the three storey Block C shown in the 2021 consent is replaced by a lower massing, and the arches proposed at ground floor in that consent, to face up the plant rooms, lost altogether. This material change required us to re-think the elevational treatment for the south elevation of the residential units, where, in the 2021 consented scheme, the arches had been repeated. The result is, we think, a very different elevational treatment, but still a simple and appropriate one. A small further change has been required for the 'vestibule' (the internal common parts area between Blocks B and C) which was extensive in the consented scheme, but which doesn't need to be so now, given that no access is required to the 'removed' Block D. No changes are proposed to Block A.
- 6.05 The loss of Block D was in danger of 'opening up' the private residents courtyard, but we have maintained security and privacy to that courtyard by the additional of a new 'division wall' between the residents parking area and the residents courtyard, high enough to meet security requirements and with fob access gates for residents.
- 6.06 Compared with the 2021 consent, the car parking levels have been raised by approx. 500mm. The effect of this has been to increase vehicular and pedestrian ramp lengths throughout and has required a corresponding lift in floor level of the Cambria building. However, the overall height of the Cambria building has been reduced significantly so this more than compensates, and the increase in car parking datums will, we think, not be recognisable given the scale of the site.
- 6.07 The office and Priory House interiors have not changed, and we still propose a public café at ground floor, with its associated kitchen and back of house areas. However, the loss of Block D has afforded us the opportunity to change the arrangements for the office plant, which in the 2021 consent was all contained at roof level, and mostly hidden by the Block D massing. The north elevation of the office building (and the retained part of Priory House) now becomes much more exposed, but we have used that change to seek alternative arrangements for the plant which would otherwise be visually very prominent if retained at roof level. This application therefore seeks to create a new plant enclosure at ground floor, immediately to the north of the office building. This means that the new office roof is unencumbered by plant. It also means that the 'atrium' space, between Priory House and the new-build office space, can be reduced in height, as the ducts which were previously planned there (to reach the rooftop plant) are no longer needed. The atrium roof previously intersected with the re-built Priory House roof, but in this application it can be noted that no intersection is needed and the Priory House roof can be rebuilt unencumbered.
- 6.08 The Cambria building remains in the north-east corner of the site, near the main vehicle entrance, where it can be built above the prevailing flood levels. This building will provide storage space for maintenance equipment and replacement fittings for residents. It is not intended that any staff are permanently based here.
- 6.09 A new electrical sub-station, and external recycling area is also provided, tucked into the Priory Bridge embankment, where it can be screened by the existing trees.
- 6.10 We propose that Priory House ('the Nash House') should once again become the centrepiece in views entering the town over the Priory Bridge. Although CADW put no great importance on the surviving elements, the structure is important for the people of Cardigan. We respect and want to build on that position. As a result, and like the 2021 consented scheme, the new office 'extension' is quite recessive in nature. It will be finished in stone as a counterpoint to the strong painted stucco of Priory House, and set back from Priory's building line. In views from the bridge, most of the new extension will be hidden by existing trees.

Proposed South Elevation



Generally

- 6.11 The client brief for the office space requires a series of large and small meeting room spaces, alongside a mix of working environments for staff, and we can achieve that without the need to retain the 1920's additional storey on Priory House (which if retained would require an additional fire escape) so again, like the 2021 consent, the proposal is to remove the additional floor and reconstruct its original pitched roof and chimneys.
- 6.12 Priory House will keep the public benefit offered in the 2021 consent, in the form of a new café/hub at upper ground floor level, accessed through the original front door (which thankfully has been safely stored on site and so can be re-used) as part of the 'revealing' of the original west elevation facing the churchyard. This new public café will be serviced from a new central kitchen, which can also serve the WWHA office space to ensure it becomes a sustainable business venture in its own right. WWHA will be supporting the operation of this by a local social enterprise. The new public café/hub will have extensive views over the river, and local residents will have use of the south facing gardens. There will be the opportunity for the public café area to double up as a display/museum feature showing the history of the site, and the café will be fully wi-fi facilitated so that it can also operate as a workplace for local people. The upper floors (and lower ground floor) of Priory House will provide office space for WWHA, and the original internal curved Nash stair will be re-used as a fire escape from the WWHA offices above, and be available for the public to see in the café entrance hall. The office building will have its main entrance on the eastern elevation, facing the office car park.
- 6.13 Like the office building, the residential accommodation is strongly influenced by the low carbon client brief. The dwellings are generally arranged in dual aspect format, so that a positive energy balance can be promoted by avoiding internal corridors; using winter passive heat gains, and avoiding over-heating during summer. The idea is simple in plan, but complex in section, and proposes the use of 'deck-access' circulation, with a courtyard view and southern/western aspect.
- 6.14 The access decks will be external unheated space, where lighting is only required during night-time hours. Internal common parts are very limited in size and this will all help the carbon agenda and reduce running costs for residents. Compared to the 2021 consent, this application also removes the 'resident's balconies' which were attached to the access decks, and replaced them with sitting areas in the newly arranged vestibule. This reduction in external floor area (and therefore capital costs) will also help ensure high-quality low-maintenance finishes are used for the 'decks'. Bedrooms will look out over Pont y Clefion, with all lounges facing south. Plant, resident's buggys, refuse and recycling etc are all planned close to the main entrance in the ground floor of Block C. A strong roofline is set at the optimum angle for PVs, and air collectors and exhausts at roof level will service MVHRs located within the roofspace, but our aim is to limit add-on renewables, and to concentrate on getting our envelope right. Lateral services distribution will be via the dropped ceilings over the spine deck access corridor.
- 6.15 The entire scheme will draw its scale from Priory house and the surrounding context. Most of the scheme will be limited to two stories, with an additional storey only for the office building (like the Priory House). The adjustment in levels, and the juxtaposition of the two and three storey blocks responds well to similar changes in scale that happen throughout the existing town.



Proposed East Elevation



Access and movement

- 6.16 The site has complex levels which makes accessibility a major challenge. Our solution involves setting Blocks A and B at the same ground floor level as the pavement on Pont y Cleifion, where we propose a new pedestrian entrance. This allows residents and visitors to enter the complex at grade. A lift and stair in the central 'vestibule' provides help accessing the lower ground floor level of Block C, and all the upper levels. The residents car park is located outside the vestibule main entrance, and we have ensured pedestrian access between this and the main buildings is all at a compliant gradient.
- 6.17 The office building has split floor levels, but a central lift and stair aids accessibility between each half. The public café within Priory House is all level, including the WC facilities, and external landscaping will ensure that the original stepped access is avoided in favour of an entrance at grade that will allow for public access from the churchyard and residents access from the courtyard.
- 6.18 The scheme interiors and common external areas will be specifically designed to meet impaired access for the elderly, including all practically achievable responses to all forms of sensory impairment.

Daylight and sunlight to adjoining properties

- 6.19 The existing residential properties on the north side of Pont y Cleifion receive daylight and sunlight, during the late morning and early afternoon, over the existing site. (they used to receive that light over a tall stone wall that bounded the site at this point, but that wall has now been demolished)
- 6.20 In the 2021 consented scheme, we took care to ensure that the new development didn't reduce the sunlight received by those properties beyond accepted industry guidelines. The guidance commonly used is that prepared by the Building Research Establishment (BRE), which advises that a rule of thumb is to ensure that the light received above an angle of 25 degrees (to the horizontal) measured at the centre of the ground floor window to the property remains undisturbed.
- 6.21 However, this application now proposes to reduce the height of Block C by a full storey, and so although the consented scheme ensured the existing Pont y Cleifion residents would not be unduly affected, the revised proposals will still be more beneficial to them. The below sectional elevation shows the relationship of the now two-storey Block C to the existing properties on the opposite side of Pont-Y-Cleifion.





Sketch view depicting the proposed exposed east end of St Marys

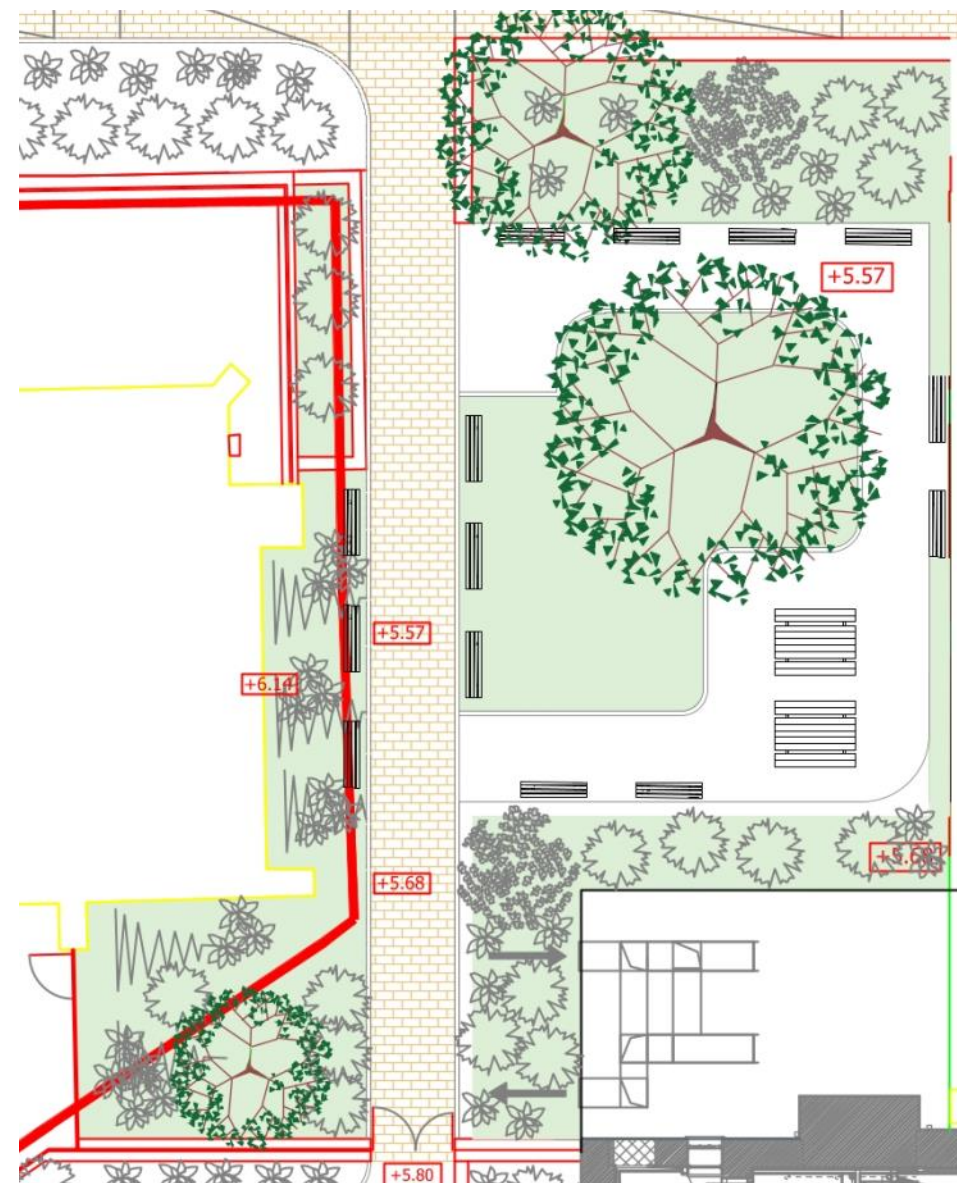
Left: Photograph of the existing east wall that sits in close proximity to the Church

Sketch view below depicting the proposed exposed east end of St Marys



The resident's courtyard

- 6.22 This is the heart of the scheme for residents. The resident's access deck on the first floor is complemented at ground floor, inspired by the Nash house vaults and the Priory narrative.
- 6.23 The only internal 'common parts' is the vestibule and entrance hall (though ground floor residents don't need to use this for access) which contains a single lift for transfer to all levels, and communal space for resident's gatherings.
- 6.24 The courtyard space will be the centrepiece of the scheme, and will be a space for meeting friends as well as quiet contemplation. It will offer soft green landscaping, but also seating and paths. The south side of the space will be formed by the north elevation of the Nash House, but a section to the west of Priory House will be finished in a new stone wall with a small railing on top.



Residents Courtyard Landscape Plan

The church

- 6.25 It seems clear that the stone walls that separate the church land from the hospital site are in the hospital's ownership. These walls are very tall at the north-west corner and reduce in height as they march eastward. There is also a clear change in level between the church land one side of that wall, and the lower hospital land on the other.
- 6.26 Tucked up tight to this stone wall on the north side of the church, is a simple shed containing the church's WC and storage space for its groundsman. The stone wall boundary has been raised at that point during the shed's construction. The wall is so tall at this point that it significantly overshadows our proposed blocks A and B. Our proposal, which has the support of the vicar and his wardens, is to demolish the maintenance shed and reduce the height of the stone wall, so that the residents in the proposed scheme get greater daylight and sunlight. Railings on top of the wall will provide security for residents. The church WC will be rebuilt within the tower vestibule (that proposal is not part of this planning application, and is being dealt with through the church Faculty) and a much smaller maintenance shed will be built in the location of the existing instead.
- 6.27 Our discussions with the vicar and wardens have extended to also include the stone wall on the eastern side of the church. Our proposal is to demolish the boundary wall completely at that point, so that the church fully forms one side of the resident's courtyard. A new set of railings (with gates for access) north and south of the church, will form a new boundary between the churchyard and resident's courtyard, in a slightly different position. The difference in level between the churchyard and resident's courtyard will still be evident, and will mark the ownership boundary.
- 6.28 The stone wall boundary on the south side of the church has partially been lost. Our proposal is to reduce the height of the remaining part and add a small railing on top, to improve visibility between the churchyard and Priory House. We propose to use the removed stone to re-build the missing section of stone wall in this location, to the same spec.



TCB

10

PONT-Y-CLEIFION

Existing site entrance. Area to be rehabilitated and improved, including soils drainage and planting of native trees and shrubs to screen Cambria building

7.2m

BLOCK A

BLOCK B

BLOCK C

CAMBRIA BUILDING

Existing ecological corridor. Vegetation to be protected and managed in accordance to BS 5837:2012 Trees in relation to design, demolition and construction - Recommendations

St Mary's Church

New rain gardens for SuDs
Ref: Engineers Drainage Strategy

New Block Paving - Tobermore Hydropave Fusion or similar

New benches - Gaze Burville Cloister bench or similar

New Kerb - Tobermore Fusion Kerb 'silver' or similar

New private courtyard. Tobermore Tegula Sets or similar

New low wall with railings and access gate to courtyard

New Public Sensory Garden and Cafe Terrace

New Stairs to terrace. Tobermore Mayfair step Flag, or similar

Existing public entrance to site

Existing public active travel route to be retained and improved

Existing overflow parking area to be retained

Ex. Amenity Turf to be retained as POS

New Low retaining wall. Gabion basket or similar. Ref: Engineers detail drawings. Knee-rail fence to top of basin

New SuDs infiltration basin. Refer to Engineers drainage strategy. Basin to be planted with native macrophytes i.e. *Juncus effusus*, *Carex pendula*, *Caltha Palustris* and *Iris pseudoacorus*

AHU's

CAFE

OFFICES

Water Level +2.06

Existing DOW access

New parking bays. Permeable block paving. Tobermore Hydropave or similar.

New native specimen tree and wild meadow planting to parking area surrounds. Ref: Planting Schedule

New retaining wall (2.5 m/ht) Gabion basket or similar. To include balustrade. Refer to Engineers layout

Existing pond and surrounding wetland area to be protected and remain intact. A hibernacula is to be built for reptiles and amphibians refuge. Ref: Ecological Appraisal.

Existing pump station and service access to be maintained

New Security Fence with Access Gate for Maintenance. Nylofor or similar

Ex. Boulder clusters with pockets of riparian thicket habitat. To be protected and managed.

Ex. Littoral shelf with reed bed habitat, *Phragmites australis*

New native grassland/wild meadow

New informal pathway. DG or similar with galvanized steel edging

Existing turret to be repaired and maintained as bat house

AFON TEIFI



Landscape Design Concepts

6.29 • New native specimen tree planting

The new access road and parking area would be planted with native heavy standard specimen trees to create a distinctive character and improve the amenity of the new development. Deciduous trees would be used to provide interest and a visual seasonal display. It is proposed that several native species will be planted within the new landscape. Tree species to be planted would include Small leaved Lime (*Tilia cordata*), Silver Birch (*Betula pendula*), Rowan (*Sorbus aucuparia*) and Whitebeam (*Sorbus aria*). Goat willow (*Salix caprea*) and Downy Birch (*Betula pubescens*) will be planted on the margins of the wetland area.

6.30 • New native hedgerows

Establishment of native hedgerows along the boundaries of the Dwr Cymru maintenance track. Hedgerows to provide screening and function as an informal buffer between the new development and the existing services. Hedgerows would connect to the existing wider habitat and provide additional ecological corridors through the site. The hedgerows would be planted at 6-7 plants per linear meter. A mix of woody hedgerow species will be used these include hawthorn, blackthorn, holly, hazel and elder. The hedge plants will be staked and protected from rodents with a decomposable spiral guard which can be removed once the plants have fully established.

6.31 • New Ornamental planting

The streetscape along Pont-Y-Cleifion. This area would be planted with low growing ornamental shrubs and groundcovers. Selected species would need to be tolerant of low levels of light due to the northern orientation.

Private Courtyard and areas adjacent to Nash House. These areas would also be planted with low level ornamental shrubs and groundcovers. Species selected would need to tolerate full sun and semi shade in the winter months. It has also been suggested that sensory gardens are established within the courtyard area which could be managed and enjoyed by the residents.

6.32 • New SuDs and attenuation pond for stormwater management

A SuDs system has been developed in conjunction with the site engineers. The proposed system will aim to manage the surface water runoff from the site thereby reducing the impact of flooding in the surrounding areas. A network of rain gardens connected to a large attenuation pond has been appropriately designed. A pipe network will connect the mechanisms and excess stormwater would deposit in the existing detention pond/wetland which would function as a detention basin. The rain gardens and attenuation pond will provide visual interest, attract wildlife, and assist with the management of stormwater runoff.

6.33 • Existing public footpath links through the site to surrounding areas

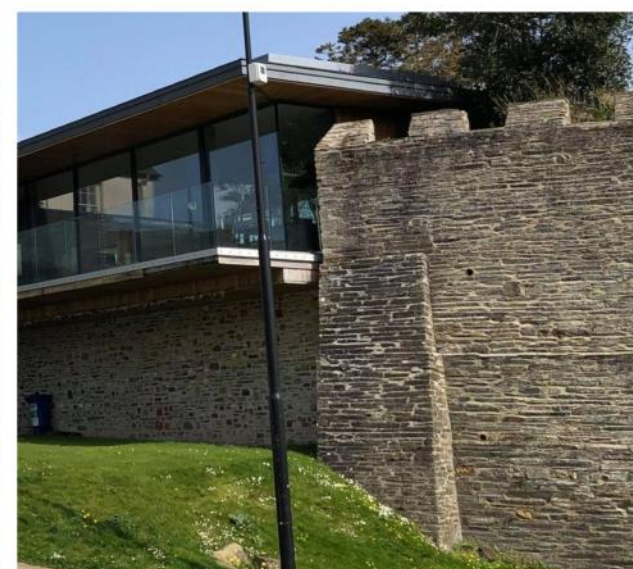
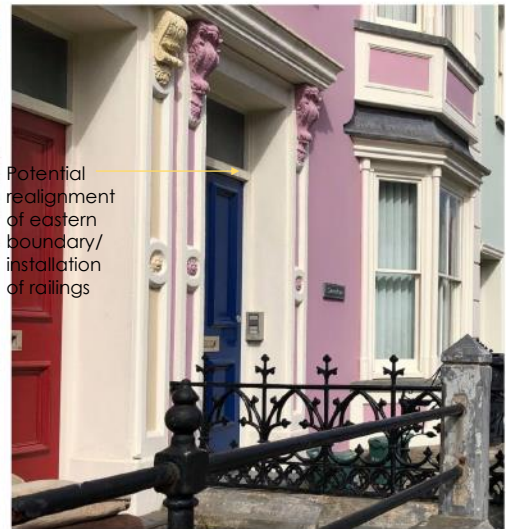
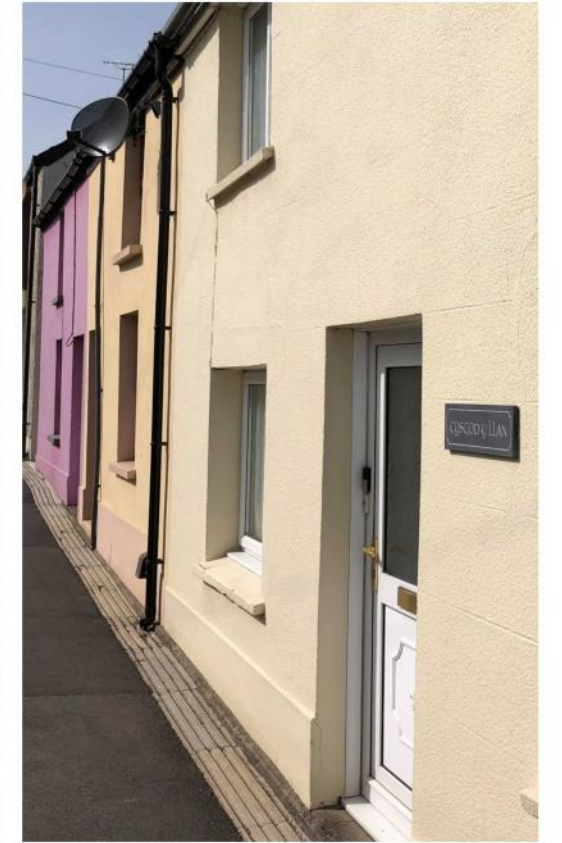
One of the key strengths of the site is its ability to connect to the surrounding areas through existing historical links. It is proposed that the existing pedestrian travel route is maintained and improved to ensure that the local community can continue to utilise and enjoy the grounds. These pathways will provide positive linkages and connections through and around the site.

Proposed Landscape works

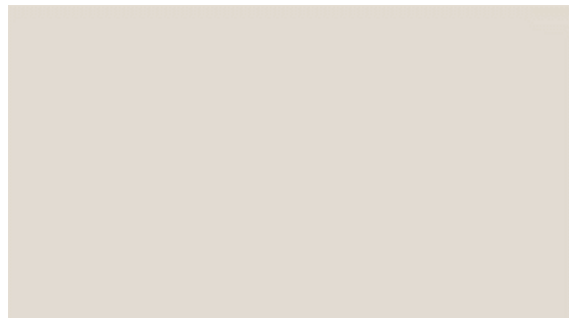
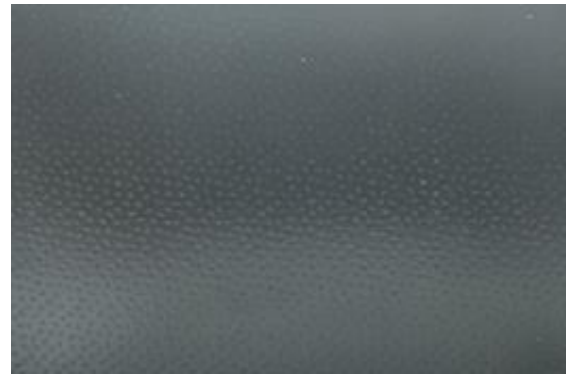
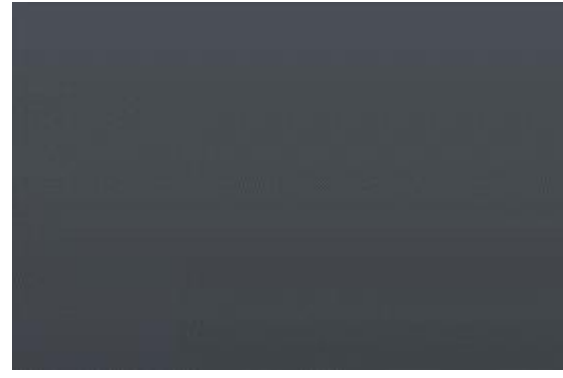
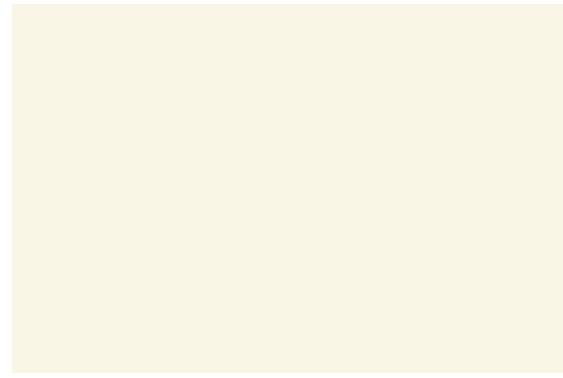
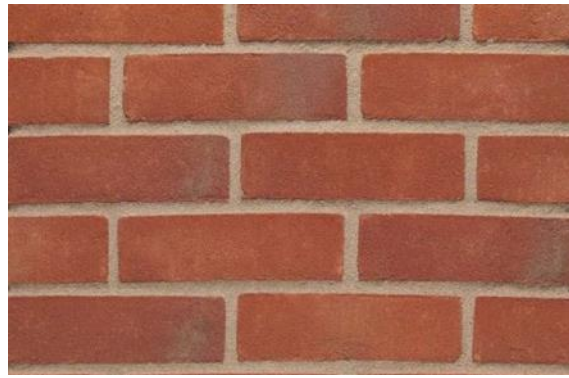
6.34 The proposed landscape works are indicated in the Landscape Masterplan (to the left) and descriptions of the works are listed below:

- The development site would be accessed by a new entrance created off Pont-Y-Cleifion, west of the existing access.
- A tree lined access road and parking area would be created in the north eastern aspect of the site on previously undeveloped land.
- Sustainable drainage systems (SuDs) have been incorporated as features into the public and private open space of the landscape. New Rain Gardens and the upgrading of the existing wetland area will store and treat collected stormwater as well as enhance the amenity and provide aquatic habitat.
- Majority of the existing trees and habitat on the site will be retained and managed. The retained trees and wetland area will be fenced off and protected throughout the construction phase.
- A series of new hedgerows will be planted along the internal maintenance track boundaries. These will in turn connect to the surrounding landscape and woodland area, functioning as an ecological corridor for vectors.
- Native trees will also be planted within the wetland area. They will also serve to provide a natural buffer and screen the development from Pont yr Priory.
- The existing riparian line along the southern boundary and its associated thicket vegetation will be retained and protected and will serve as an ecological habitat corridor.
- The existing scrub and woodland vegetation on the embankment along Pont yr Priory will also be retained and protected as habitat.
- The existing pedestrian links through the site will be retained and enhanced to ensure that historical access through the site is maintained.
- Amenity landscaping within the new site would include grassed areas with specimen tree planting, this will offer habitat and provide a natural informal space which can be enjoyed by residents and visitors alike.
- A new courtyard area with terraced lawn and seating will provide a private area for residents.
- Additional outdoor landscaping to include a meandering pathway through the grounds for the public. Outdoor areas to include a viewing deck.

Further details are provided in Landscape Strategy Supporting Document.



Potential realignment of eastern boundary/ installation of railings



Materials

6.35 Cardigan's strong and colourful townscape has had a strong influence on our chosen materiality. We intend to respond to that, and make the new scheme very much part of the town. Key to this will be an appreciation of the public and private faces to the scheme ;

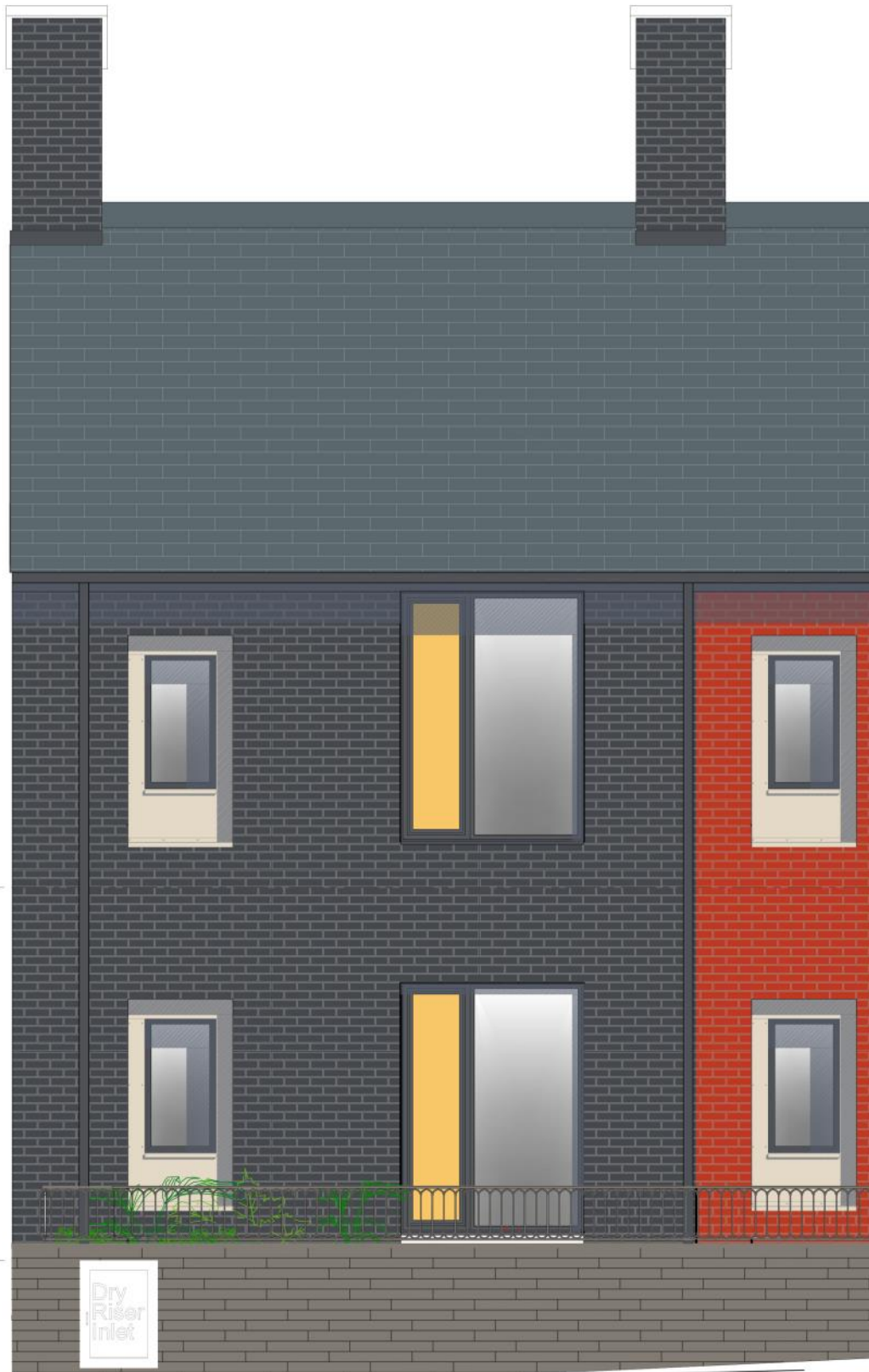
- The very public face onto Pont y Cleifion, which will become the first view of the town for those entering from the east
- The river frontage and the setting for Priory House, from the public walkway south of the river
- The view from public footpath running through the churchyard
- The much more private elevations within the scheme, that surround the resident's courtyard

6.36 Our north elevation is proposed as an eclectic mix of brick and painted render. We propose using two brick colours – (1) a mid range red, and (2) a charcoal grey. The intention is to introduce an informality across the façade by using rainwater downpipes to separate finishes. Strong colours are also proposed using painted render.

6.37 On the south elevation, Priory House will be finished in a stucco render, hand painted off-white. The new-build office component will be faced in stone. The local stone here is Cilgerran, but we believe the quarry has been closed for some time, and so an alternative will need to be sought, assuming not enough can be reclaimed on site. The new-build element will be set back from the Nash frontage, and the stone finish will contrast with the painted stucco of Nash, so that the latter becomes the principal feature in views from the south.

6.38 The public footpath through the churchyard will focus on the new Priory House's west elevation. This will be finished in the same painted stucco as the south, under a Welsh slate roof. The intention is to re-fit the entrance door that has been stored on site, which appears to have been in use during the 19th century. Only glimpses of the resident's courtyard elevations will be available in this view.

Left:
Collection of materials, textures and colours representative of Cardigan's character
Above:
Selection of materials as proposed for the scheme



Residential Bay North Elevation (to Pont-Y-Cleifion) study

- Charcoal / orange red brick
- Slate effect roof tiles
- Pressed metal surrounds to smaller windows
- Stone walling with metal railings on top
- Dark grey downpipes, gutters and window frames



Residential Bay South Elevation study

- Orange red brick "frames" to access deck
- Painted render walls to apartment external walls
- Pressed metal fascia to access deck floor level
- Painted metal railings
- Stone planter wall
- Dark grey downpipes, gutters and window frames
- Slate effect roof tiles with photovoltaic panels
- Grilles to chimneys for supply / exhaust air

Flood risk

6.39 Our scheme is based on six key principles which have been devised with our flood risk consultants JBA;

- No dwellings are proposed within flood zone C2 – all are planned within zone A.
- The Cambria 'storage' building, and adjacent electrical sub-station, both commercial properties, is sited within flood zone C2, but their ground floor levels have been raised to an appropriate height, as advised by JBA and in accordance with advice from our M+E consultants.
- A small part of the new office building extends into flood zone C2, but like the Cambria building this is a commercial use, and its ground floor level has been raised. Most of the office space is planned within flood zone A.
- Care has been taken to ensure that the existing Priory House basement is protected from flood.
- The new dwellings have all been designed with a ground floor level above the minimum advised by our consultant JBA.
- The site access road has been raised in height to correspond to the scheme requirements.

Further details are shown in the flood report appended to our client's application.

Highways, parking, servicing and refuse collection

- 6.40 Our consultants Acstro have provided specialist advice for the highways planning within the site, parking and servicing.
- 6.41 We propose a new vehicular access into the site off Pont y Cleifion. Our public consultation suggested the existing egress point was dangerously close to the bypass roundabout, and so moving it to a new position westwards has allowed us to optimise the car parking; provide space for the Cambria building, and provide a safer vehicular access and egress point for the scheme.
- 6.42 A total of 53 parking spaces are provided for the scheme. Of these 20 are dedicated for the residents, and are sited close to the main residents entrance. 33 car spaces for office staff are all provided in the main car park. Vehicular visitors will not be encouraged to the public café – that is intended for pedestrian use.
- 6.43 A central refuse area, at ground floor in block C, collects all residents waste and recycling. WWHA management staff will transfer this to a collection point at the site entrance at the required time. The public café operators will also be charged with moving refuse and recycling into the central refuse area.
- 6.44 Servicing is very limited in this scheme. The Cambria building will store replacement kitchen and bathroom equipment and small vans operated by WWHA staff will transfer these to and from various sites around West Wales. The public café will need supplies brought in, but again this is envisaged by a small van which can temporarily park on the gravel area outside Priory House.



View of existing across the river Teifi



View of proposed across the river Teifi



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

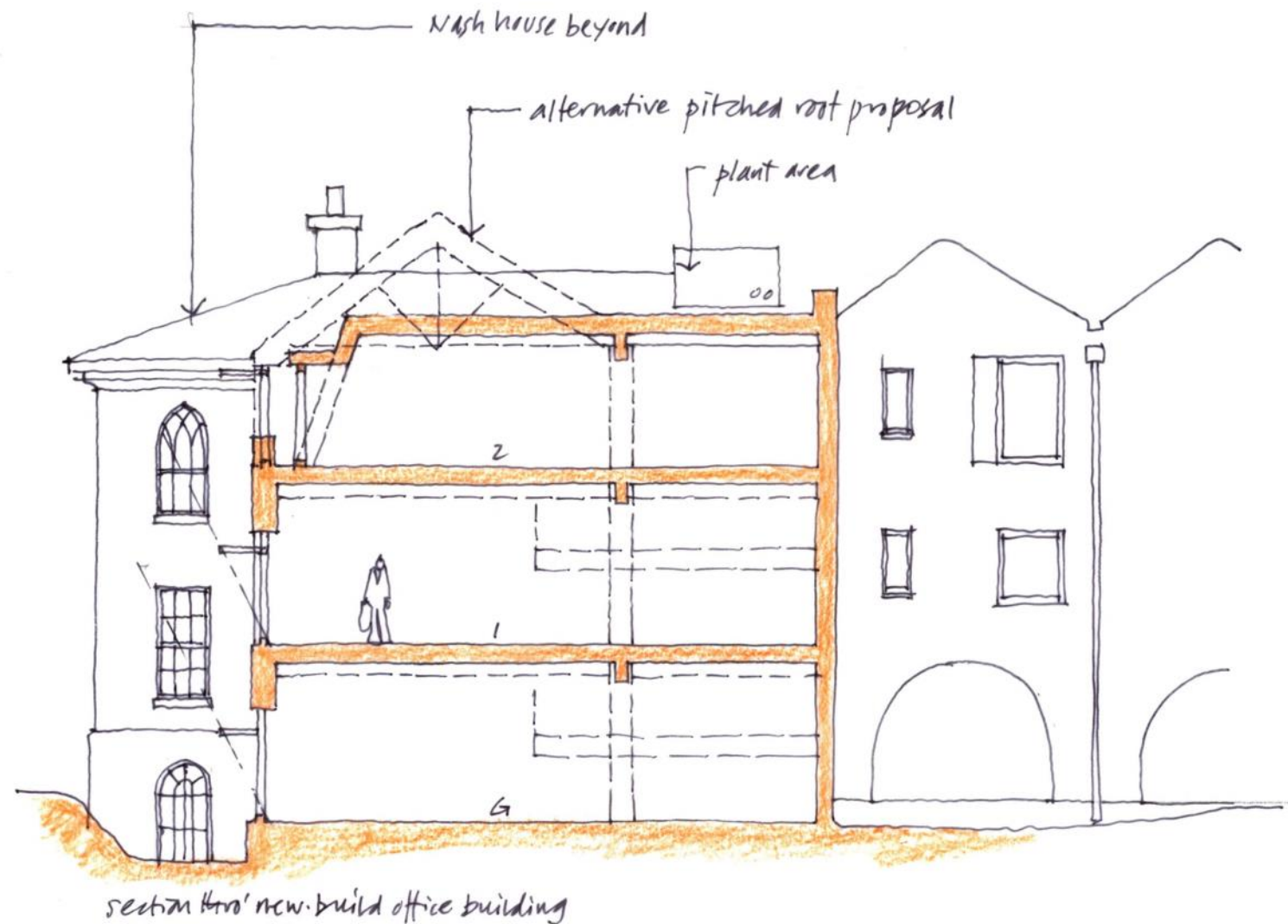


WEST ELEVATION

Material Key

- | | | | |
|----|--|-----|--|
| M1 | Solid stone walling | M8 | Refurbished / new to match historic, timber framed windows |
| M2 | Painted Render | M9 | PPC aluminium windows and doors, frame colour RAL 7015 |
| M3 | Existing Priory House re-rendered and painted | M10 | Existing timber door to be refurbished and reinstated |
| M4 | Welsh slate roofing | M11 | Former blank window to be reinstated |
| M5 | Existing stone chimney refurbished | | |
| M6 | Curtain walling, frame colour RAL 7015 | | |
| M7 | Curtain walling with back-painted glass, frame colour RAL 7015 | | |

7.00 The Office Building

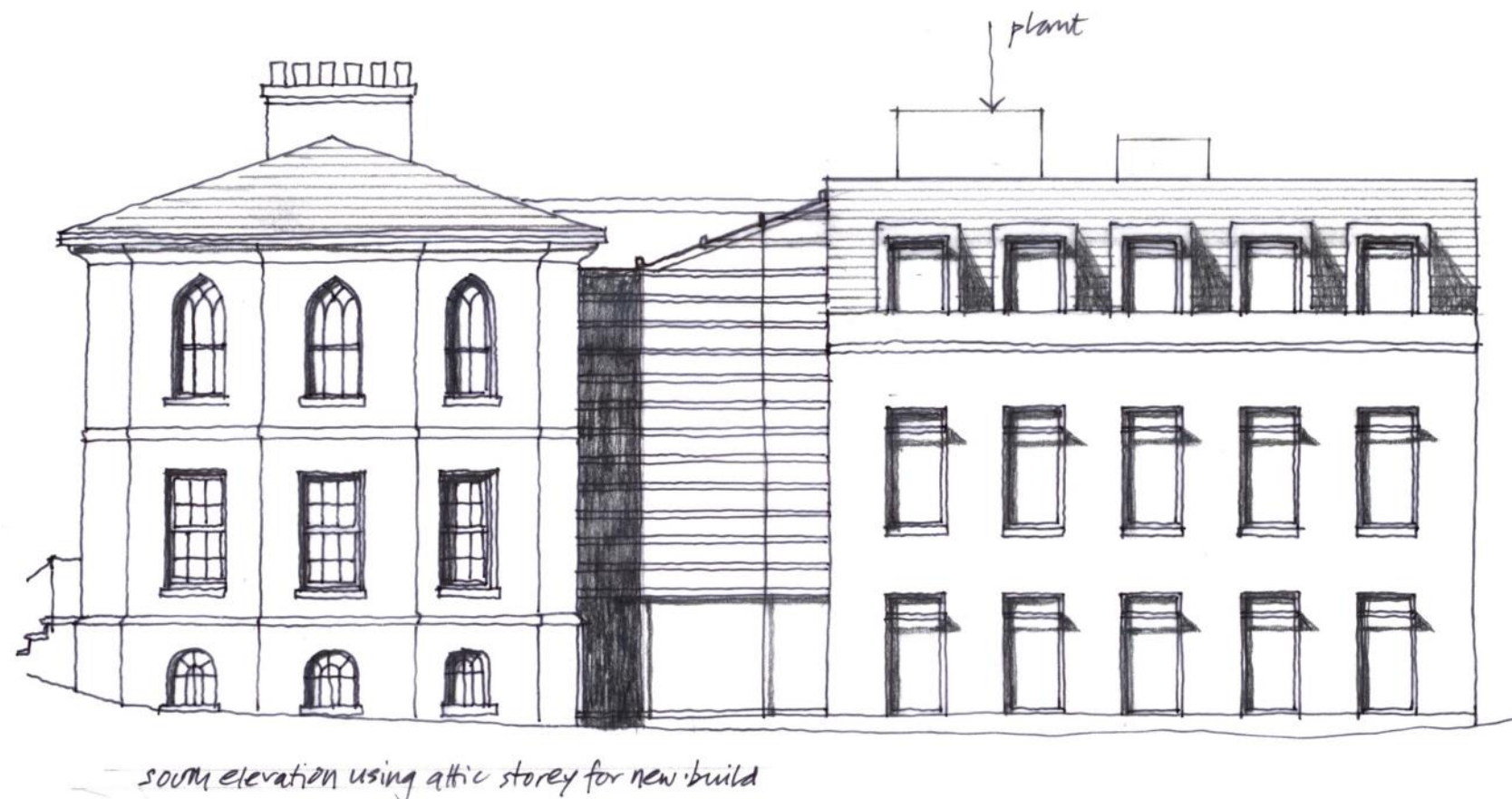


7.01 The new-build element of the office building will have its main entrance on the eastern elevation, facing the car park, and be connected to the Nash house by a new glazed atrium.

7.02 Priory House will be upgraded and converted to WWA office accommodation on lower ground, and first floors. A new public café/hub is proposed for the grand front room at upper ground floor, with the public accessing that facility through the original front door. A local social enterprise will manage and operate the café, supported by WWA, and the café kitchen will also serve a new WWA meeting area and social hub in the floor of the atrium, to ensure it becomes a sustainable business venture. There will be the opportunity for the public café area to double up as a display/museum feature showing the history of the site, and the café will be fully wi-fi facilitated so that it can also operate as a workplace for local people.

7.03 Compared with the 2021 consented scheme, this application makes the following important changes to the office component ;

- The removal of residential Block D has changed the way the office building will be seen, as its north elevation will now become exposed. We have therefore taken care to design that north elevation to properly address the site entrance and finished the main part of the elevation in stone. The corner has been finished in render to highlight the office entrance, and provide space for signage. Windows have been adjusted to suit.
- The office plant, which was previously hidden by Block D, has now been moved to a new location at ground floor on the north side of the building, where it is surrounded by an acoustic screen. This means that the rooftop glass balustrade, included in the 2021 consent, is no longer required ; the resulting parapet is simpler, and service access is easier.



Evolving design options for roof shapes to new office building: variations of the proposed office top floors were explored to limit impact on Priory House, but all were abandoned, for various reasons, in favour of a simpler form



8.00 Summary and benefits

- 8.01 Although the Memorial Hospital site is heavily constrained by flood limitation requirements, proximity to heritage assets, access requirements for utilities companies and differing land levels, it has a fascinating history and is strategically well-positioned for a residential-led mixed-use scheme, which will enhance the approach into the town centre from the east.
- 8.02 Our clients have set a high bar by targeting a zero carbon scheme in use, but we understand the critical issues that can help us achieve that, and have based the scheme's concept around a simple plan that uses dual aspect dwellings to help create an energy balance, and limits any top-up with renewables.
- 8.03 Our response to the client's ambition of creating a new community, is to focus resident's dwellings around an overlooked central courtyard garden, and provide some informal meeting spaces within the vestibule. These two amenities mean additional 'common parts' are reduced in size, and this helps ensure capital expenditure can be focused on high quality low-maintenance finishes, and limits resident's expenditure on service charges.
- 8.04 The scheme includes a significant community benefit in the form of a new café/hub, designed as part of the upgrading of the Priory House, and which will become an important amenity for this part of the town, with extensive views over the River Teifi, and as part of an improved visitor experience involving upgraded riverside walks.
- 8.05 The road into the town on the north side of the site – Pont-Y-Cleifion – has already undergone significant improvement by the demolition of the tall stone wall that used to face it. The stone/slate appeared to be of high quality, and thus was saved for re-use in the scheme. We have carefully designed the new apartments on the northern boundary so that they limit any impact on the existing properties opposite.
- 8.06 St Mary's church has been given far more breathing space, by demolition of the 20th century hospital buildings that used to suffocate it, and in this application, the removal of Block D from the 2021 consent means that the east end of the Church will now be publicly seen from Priory Bridge and for those accessing the town from the east on Pont-Y-Cleifion. The church facilities will also be improved by a new internal WC, and the removal of the existing external version will enable us to reduce the height of the boundary wall it sits against, and gain more daylight into the new scheme for residents.
- 8.07 Although this application has made major changes to the 2021 consented proposals, there are advantages in planning terms, including a reduction in massing onto Pont y Cleifion; better views of the east end of the church from public viewpoints ; the removal of plant from the roof of the office building and a reduction in height of the office atrium to the betterment of Priory House.

We commend the scheme to the Local Authority as of significant benefit to the people of Cardigan.

